

Alson Caughman

# **DESIGN GUIDELINES**

**BROOKWOOD HILLS COMMUNITY CLUB**

**July 17, 2000**

# **BROOKWOOD HILLS**

Prepared for Brookwood Hills Community Club

by

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# **INTRODUCTION**

## **STUDY AREA**

Brookwood Hills is a residential community of 345 homes located in Buckhead. Bounded by Peachtree Street to the west and Clear Creek to the east, the neighborhood has three entrances off of Peachtree Street, Brighton Road, Palisades Road and Huntington Road.

Within Brookwood Hills there are several green spaces. The largest of these spaces contains the pool, park, tennis and basketball courts. This space will be referred to as the Amenity Area in our report.

The Brookwood Hills Long Range Planning Committee determined there was a need to develop design guidelines for the neighborhood with emphasis on the Amenity Area. The four major goals of our work are listed below.

- 1) Present an attractive and cohesive identity throughout the neighborhood.
- 2) Improve traffic circulation while calming traffic throughout all of the neighborhood streets.
- 3) Improve both the function and appearance of the Amenity Area.
- 4) Resolve landscape issues with regard to appearance and structural soundness throughout the neighborhood.

The report that follows provides details on how to achieve these goals.

Illustration #1- Brookwood Hills in context.

Illustration #2- Brookwood Hills Neighborhood.

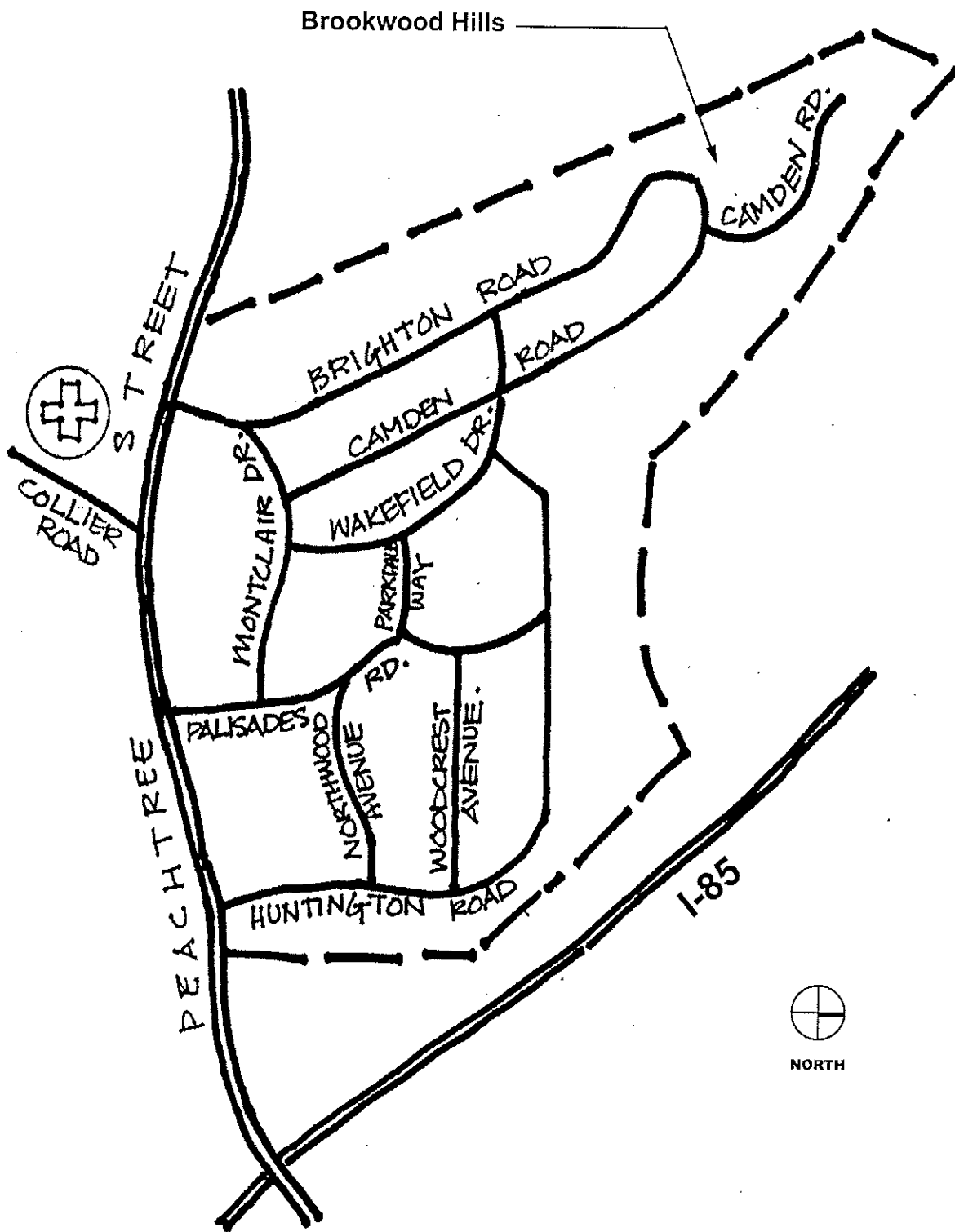
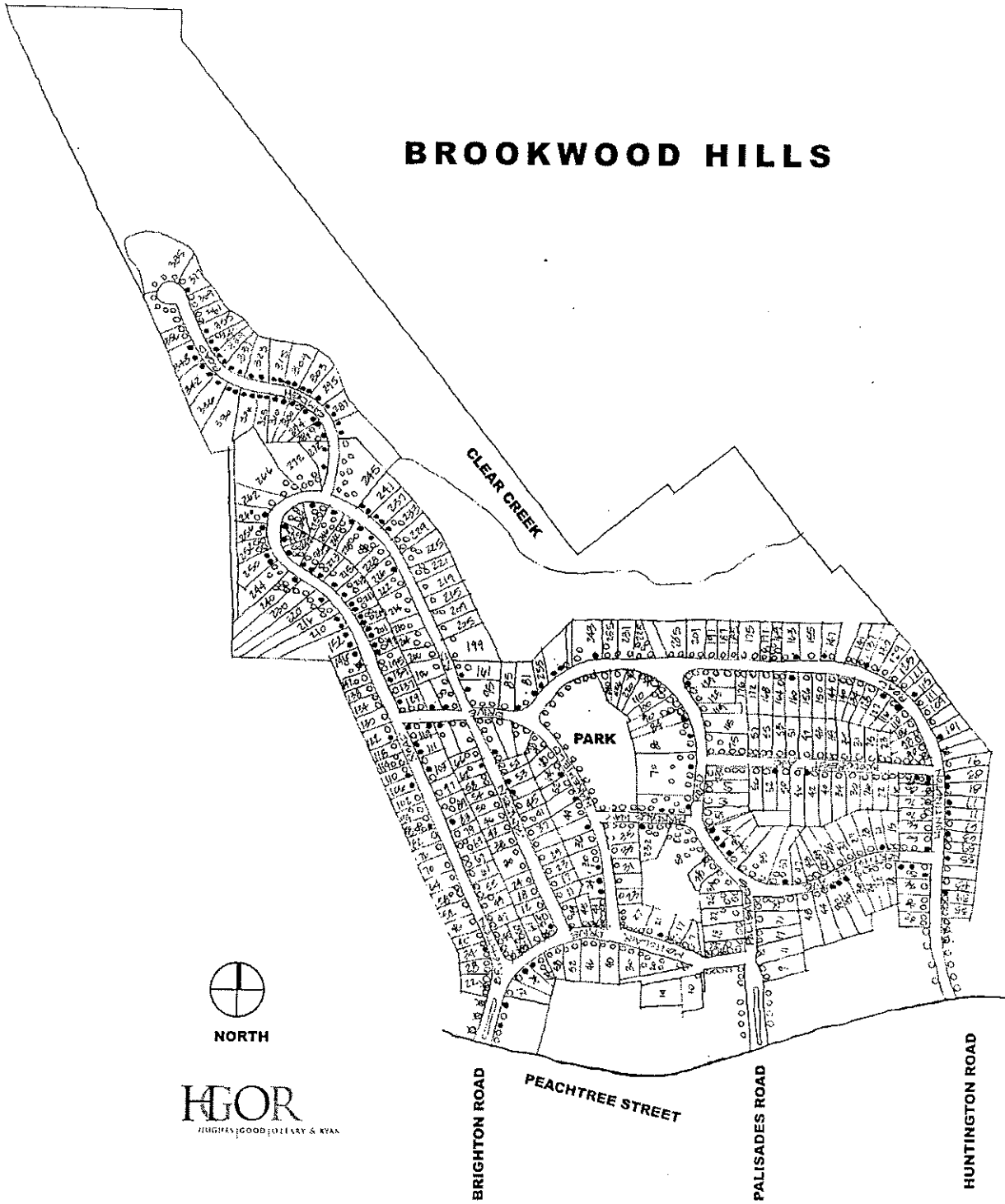


ILLUSTRATION #1- BROOKWOOD HILLS IN CONTEXT

# BROOKWOOD HILLS



**HGOR**  
HUGHES, GOOD, JOLLEY & RYAN

ILLUSTRATION #2- BROOKWOOD HILLS NEIGHBORHOOD

# SITE DESIGN GUIDELINES

The concept for site design guidelines is explained by elaborating on individual inventory items and graphically illustrating recommended improvements that will establish the image of Brookwood Hills.

## 1. ENTRANCES

### i. Neighborhood Identity

- a The three entrances, Brighton Road, Palisades Road and Huntington Road provide the first impressions of the Brookwood Hills neighborhood. The current entry consists of wide streets, bisected in two of the entrances by a relatively wide median with thriving vegetation. All the entrances are busy crosswalks for the Peachtree Street pedestrian traffic, and due to the businesses and related parking at each of the intersections vehicular traffic is also heavy.

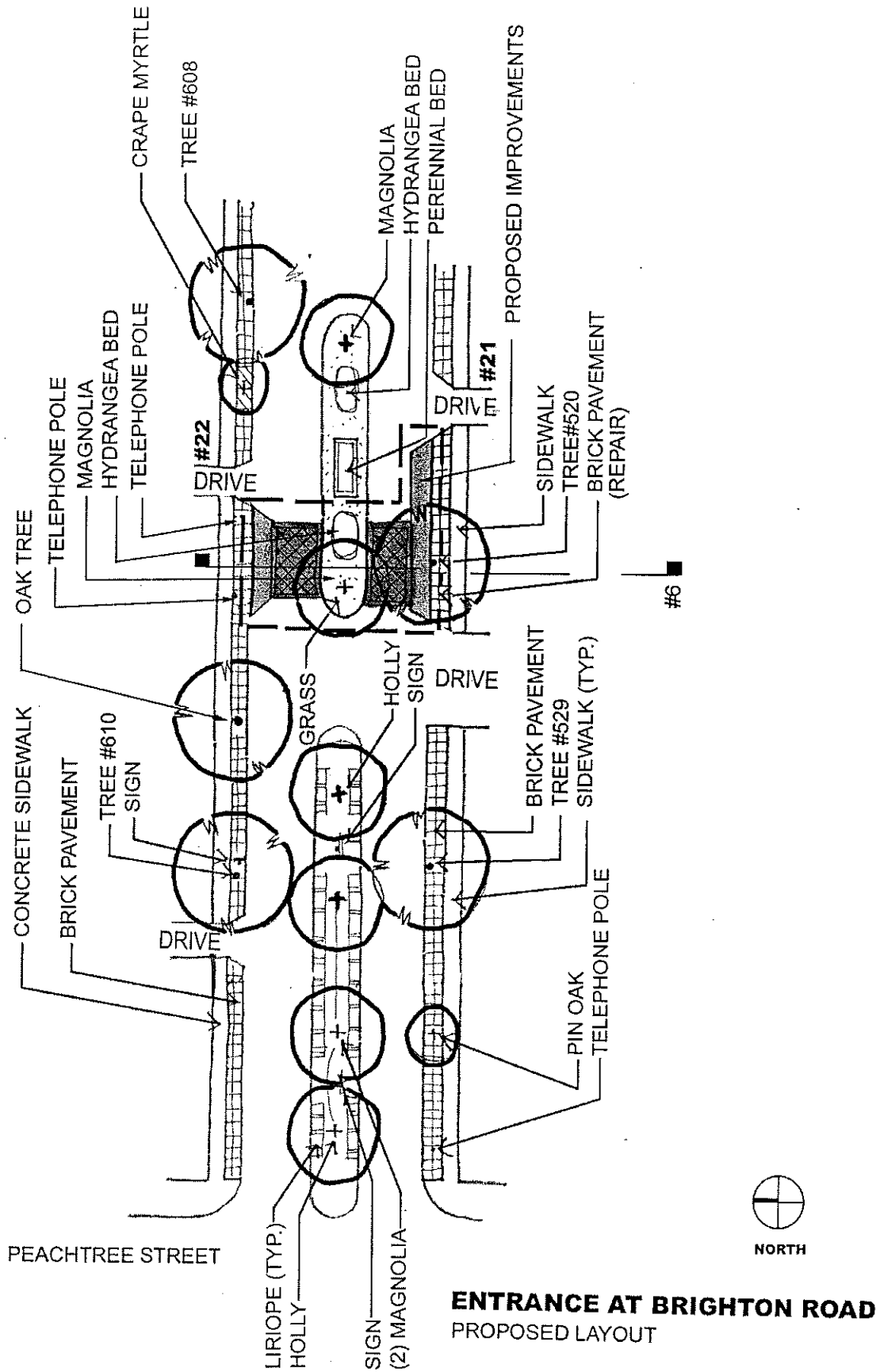
A strong identity for each of the three entrances to Brookwood Hills is to be established, a slight reconfiguration of the entrances will form a cohesive and understated front door image to the Brookwood Hills neighborhood. This is to be achieved by the implementation of the following measures:

- Reconfigured parking opportunities, facilitating clear, uncluttered views into the neighborhood and providing a safer environment for pedestrians.
- Traffic Calming measures that will narrow the street and further signify an 'entrance'.
- The neighborhood identity will become further established by using identical hardscape materials such as pavers in the roadway, for improvements across all three of the entrances.
- The existing vegetation is to remain, and where necessary, enhanced.
- Repair old or install new brick paving within the medians or sidewalks along the entries in which brick paving exists.

Illustration #3- Brighton Road Improvements

Illustration #4- Palisades Road Improvements

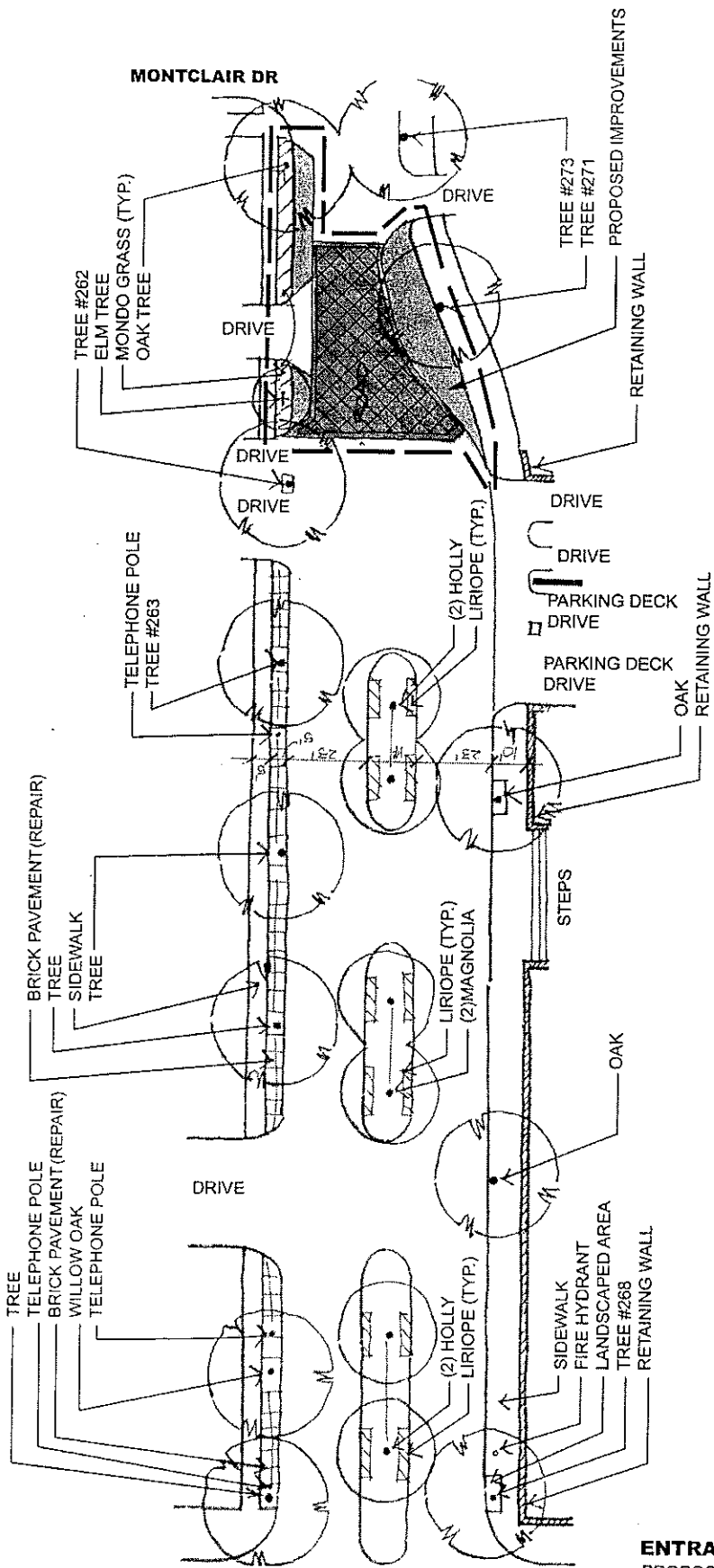
Illustration #5- Huntington Road Improvements



**ENTRANCE AT BRIGHTON ROAD**  
 PROPOSED LAYOUT

**ILLUSTRATION #3- BRIGHTON ROAD IMPROVEMENTS**





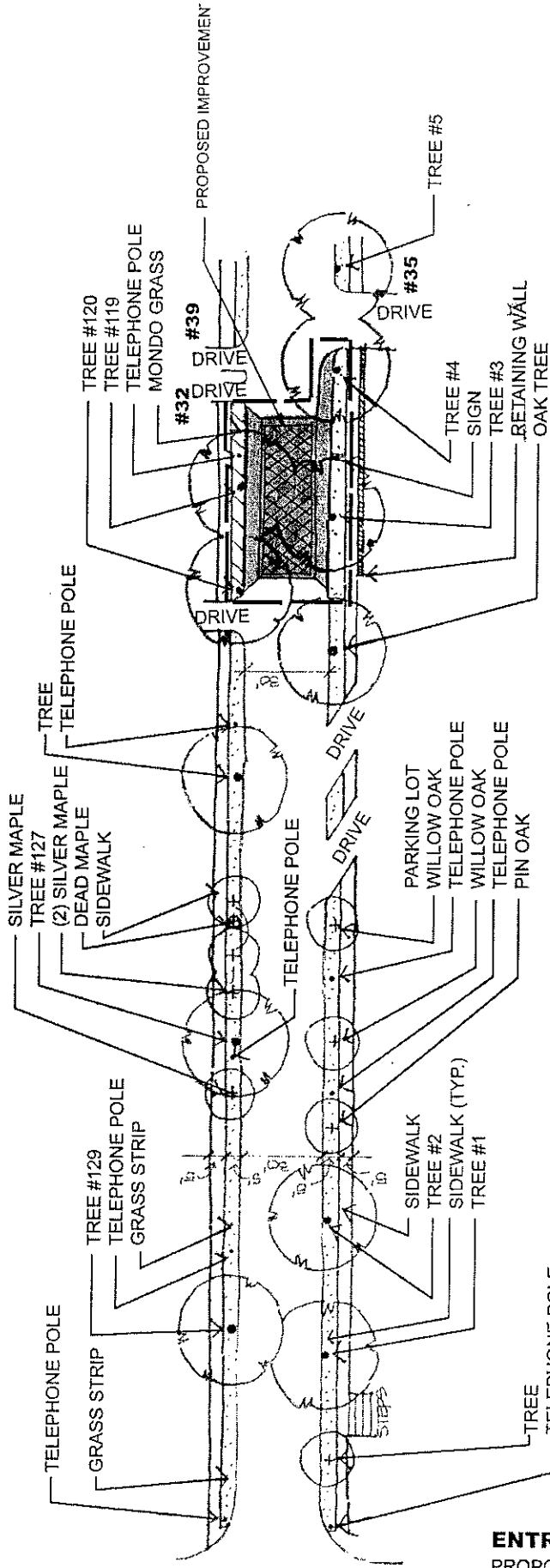
**ENTRANCE AT PALISADES ROAD**  
PROPOSED LAYOUT

PEACHTREE STREET

**ILLUSTRATION #4- PALISADES ROAD IMPROVEMENTS**



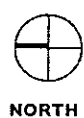
NORTH



PEACHTREE STREET

ENTRANCE AT HUNTINGTON DRIVE  
PROPOSED LAYOUT

ILLUSTRATION #5- HUNTINGTON ROAD IMPROVEMENTS



## **ii. Landscape**

- a** The existing vegetation at the entrances is very regimented due to the linear nature of the planting beds; it consists mainly of median plantings of groundcover and flowering shrubs, evergreen trees and the street trees lining the road. The removal of existing trees in whole or part shall be considered in addition to the improvements that have been noted in this document. All trees are to be pruned to enhance both appearance and health of the individual tree. Paving to accommodate vehicular traffic is a necessity.

The appearance of the entrances is to be enhanced by new groundcover and low shrubs. These are to be planted within the framework of the hardscape improvements, and within the existing landscape areas on either side of the road.

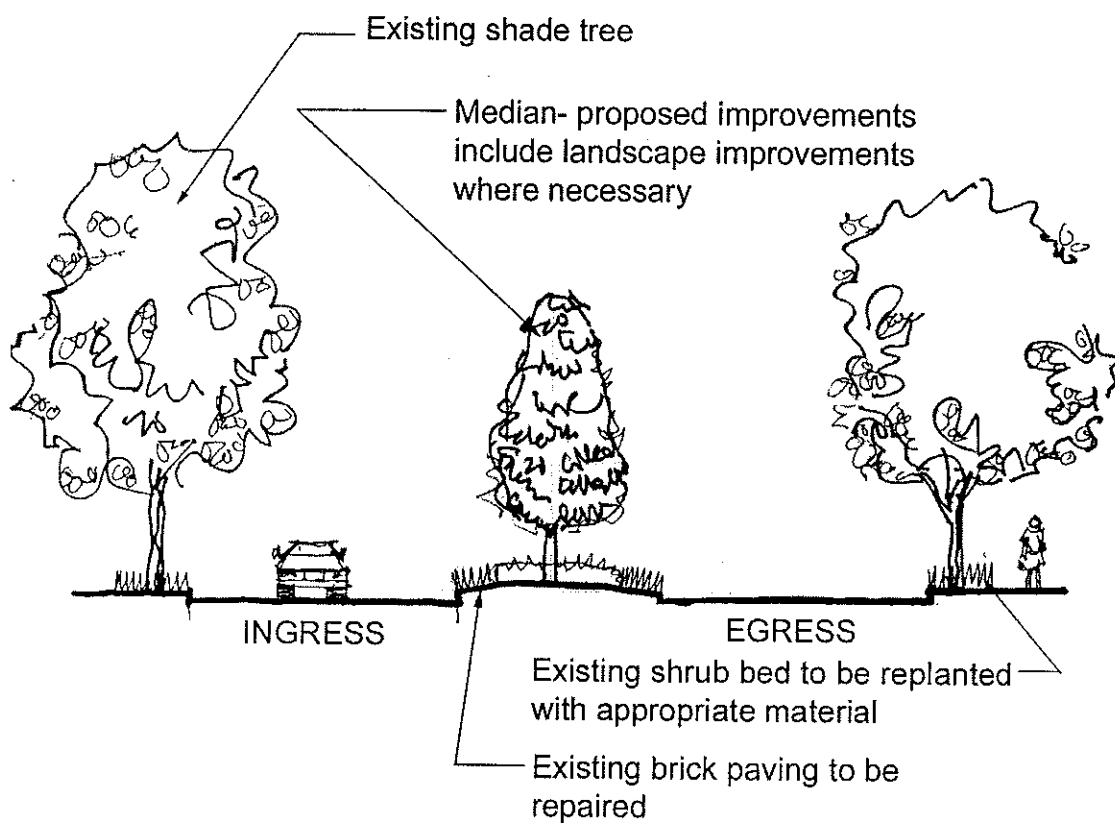
The planting palette must concentrate on the character of the existing theme, thus strengthening it as a design element. Any unhealthy plant material is to be replaced with a species conforming to the existing character.

Illustration #6- Landscape Improvements at the Entrances.

### **SUGGESTED PLANT PALLET**

(This is not exclusive, but should be used to set the character intended)

- Indian Hawthorn
- Harbor Dwarf Nandina
- Daylily (many varieties)
- Big Blue Liriope
- Mondo Grass
- Southern Magnolia (many varieties)



**ILLUSTRATION #6- LANDSCAPE IMPROVEMENTS AT NEIGHBORHOOD ENTRY POINTS**

## 2. AMENITY AREA

### i. Pool House

In the Amenity Area the existing pool house is a flat roofed single story building, at a significantly lower elevation than its associated park entrance. The elevation change is currently addressed by a steep flight of steps, terminating in the dark, confined space of the concession stand/ controlled access point. Pool House presents a strong challenge to improve the overall aesthetic image, and to resolve access and circulation issues.

#### Illustration #7- Amenity Area Improvements

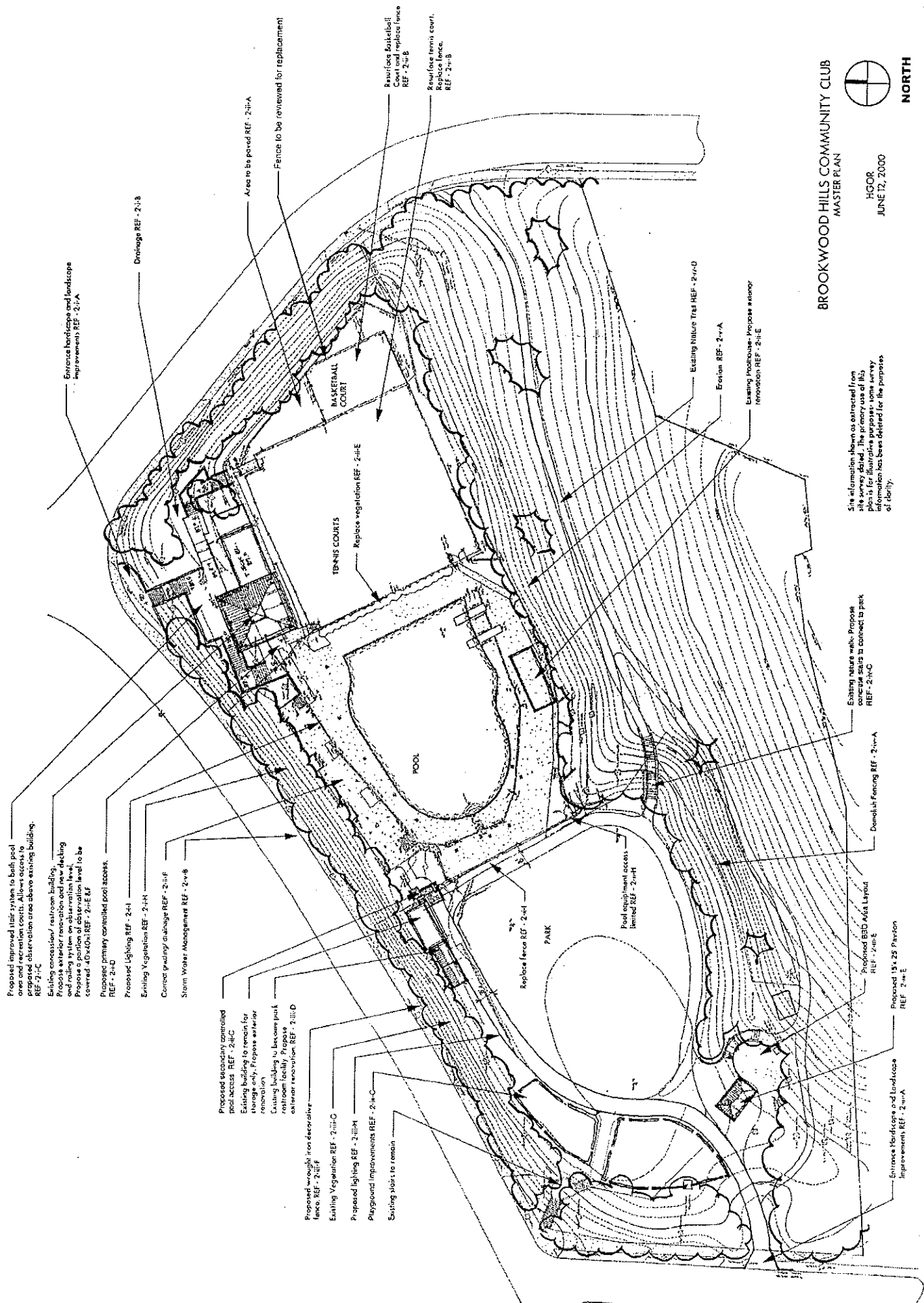
- a** The image of the amenity area starts at the entrances, particularly since the majority of the recreation area is out of sight at a lower elevation than the perimeter sidewalk. The pool house entrance is the most important and frequently used and is to be treated as such. There is to be significant hardscape improvements at this location, the nature of which will conform to the character of the renovated pool house.

The following are items included in the hardscape improvements at this location:

- The sidewalk is to be replaced with a contrasting material, indicating a focal point.
- The entrance itself is to be widened and a gateway/shelter erected as a dramatic focal point and providing immediate identity.
- The Amenity Area sign is to be replaced and located at a more visible location.

#### Illustration #8- Amenity Area Entrance Improvements

- b** There are existing drainage problems in the area of the pool house, notably at the entrance to the Tennis and Basketball courts. This will be resolved with the combined effects of the following:
- Water runoff management in the location of the sidewalk above. In areas of proposed sidewalk renovation, the sidewalk shall be sloped towards the road, directing run-off away from the park.
  - With the construction of proposed hardscape elements between the Wakefield Road Entrance and the Tennis courts, the run-off shall be redirected to drainage inlets.
  - The installation of a drainage system to collect the water at key points.
- c** The pool house, is currently accessed by navigating two sets of steep steps, the tennis and basketball courts are even more hazardous, being at the end of an uneven, steep and narrow gravel path. These conditions are especially inconvenient if not impossible for stroller and wheelchair traffic.



Proposed improved stair system to both pool ones and recreation courts. Allows access to proposed observation area above existing building. REF - 2-i-C

Existing concession/ restroom building. Propose exterior renovation and new decking. REF - 2-i-D

Propose a portion of observation level to be covered. 40x40 ft. REF - 2-i-E & F

Propose primary controlled pool access. REF - 2-i-G

Proposed Lighting REF - 2-i-I

Existing Vegetation REF - 2-i-H

Concrete gully/drainage REF - 2-i-F

Storm Water Management REF - 2-i-8

Proposed secondary controlled pool access. REF - 2-i-C

Existing building to remain for observation. Propose exterior renovation. REF - 2-i-D

Existing building to become park restroom facility. Propose exterior renovation. REF - 2-iii-D

Proposed wrought iron decorative fence. REF - 2-iii-F

Existing Vegetation REF - 2-iii-C

Proposed lighting REF - 2-iii-H

Playground improvements REF - 2-iii-C

Existing plots to remain

Proposed lighting REF - 2-iii-H

Playground improvements REF - 2-iii-C

Existing plots to remain

Proposed lighting REF - 2-iii-H

Playground improvements REF - 2-iii-C

Existing plots to remain

Entrance hardscape and landscape improvements REF - 2-i-A

Drainage REF - 2-i-8

Area to be paved REF - 2-ii-A

Fence to be reviewed for replacement

Resurface basketball court and replace fence REF - 2-iv-B

Resurface tennis court. Replace fence. REF - 2-iv-B

Replace vegetation REF - 2-ii-E

Existing Native Tree REF - 2-iv-D

Excavation REF - 2-iv-A

Existing Poolhouse. Propose renovation. REF - 2-iv-E

Site elevation shown as extracted from topographic map. The primary use of this plan is for illustrative purposes. Information has been deleted for the purposes of clarity.

Existing stairs with proposed handrails to be connected to park REF - 2-iv-C

Demolish Fencing REF - 2-iv-A

Proposed BEO Area Layout REF - 2-iv-E

Proposed 15x25 Pavilion REF - 2-iv-E

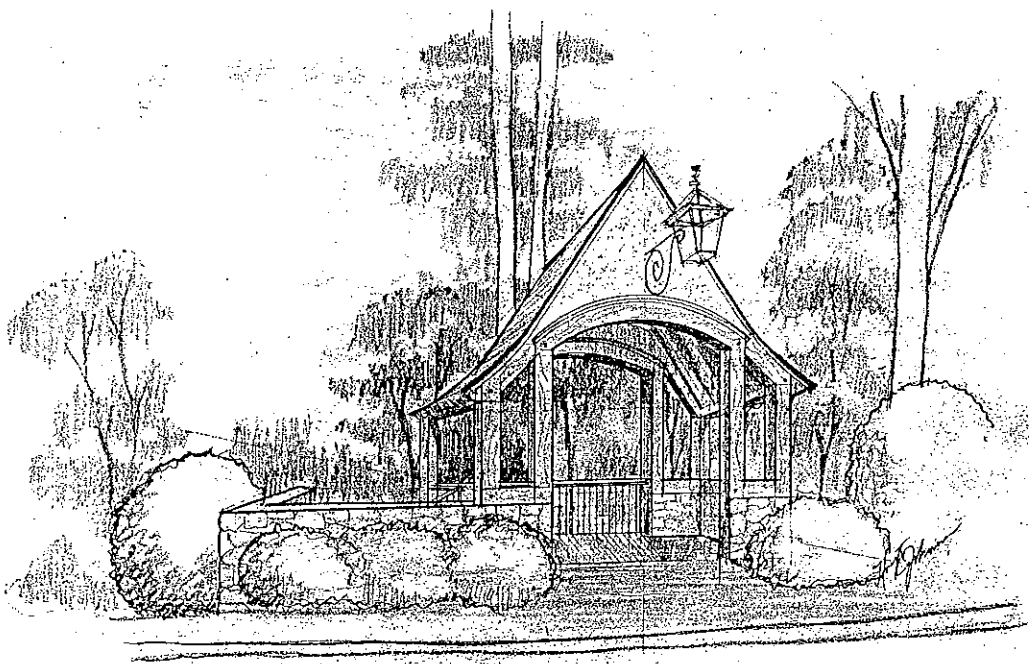
Entrance Hardscape and Landscape Improvements REF - 2-iv-A

**BROOKWOOD HILLS COMMUNITY CLUB**  
MASTER PLAN



HIGOR  
JUNE 17, 2000

**ILLUSTRATION #7- AMENITY AREA IMPROVEMENTS**



BROOKWOOD HILLS COMMUNITY CLUB ENTRY

NORMAN R. ASKINS, ARCHITECT		
SCALE:	APPROVED BY	DRAWN BY
DATE:		THY TE
		DRAWING NUMBER

ILLUSTRATION #8- AMENITY AREA ENTRANCE IMPROVEMENTS

It is suggested that there should be significant hardscape modifications to resolve these issues, and provide a safer and more functional environment. The following improvements are suggested:

- The first flight of steps is to be divided into two manageable sections by increasing the width and breaking the stairs up with a landing.
- After the first flight of stairs there is to be a large paved area to accommodate heavy traffic, this will be especially valuable for the stroller and wheelchair traffic. At this point there will be direct access into the upper level of the renovated Pool house, (the observation point and the social gathering area).
- The tennis and basketball court access will be improved by the construction of a paved path, which will accommodate the grade change with a series of steps and retaining walls.
- A baby stroller 'parking area' is provided for further convenience.

Illustration # 9- Cross-section of Baby Stroller 'parking area'.

- The lower level of the Pool house will be accessed either via the existing narrow path between the Tennis Courts and the Pool house, or, by using the proposed path to the north of the Pool house, which will accommodate the grade change by two flights of steps divided by a landing.

- d** The pool can currently only be accessed through the Pool house. The constrictive layout of the controlled access gate and adjacent concession stand has created a 'bottleneck' situation, and renders the Pool house a thoroughfare.

With the proposal of direct access to the pool via a rerouted path to the north and west of the Pool house, the conflict will be resolved and the Pool house will function as a destination. An additional advantage for the Pool house will be the reclaimable square footage of the redundant passageway for alternative use.

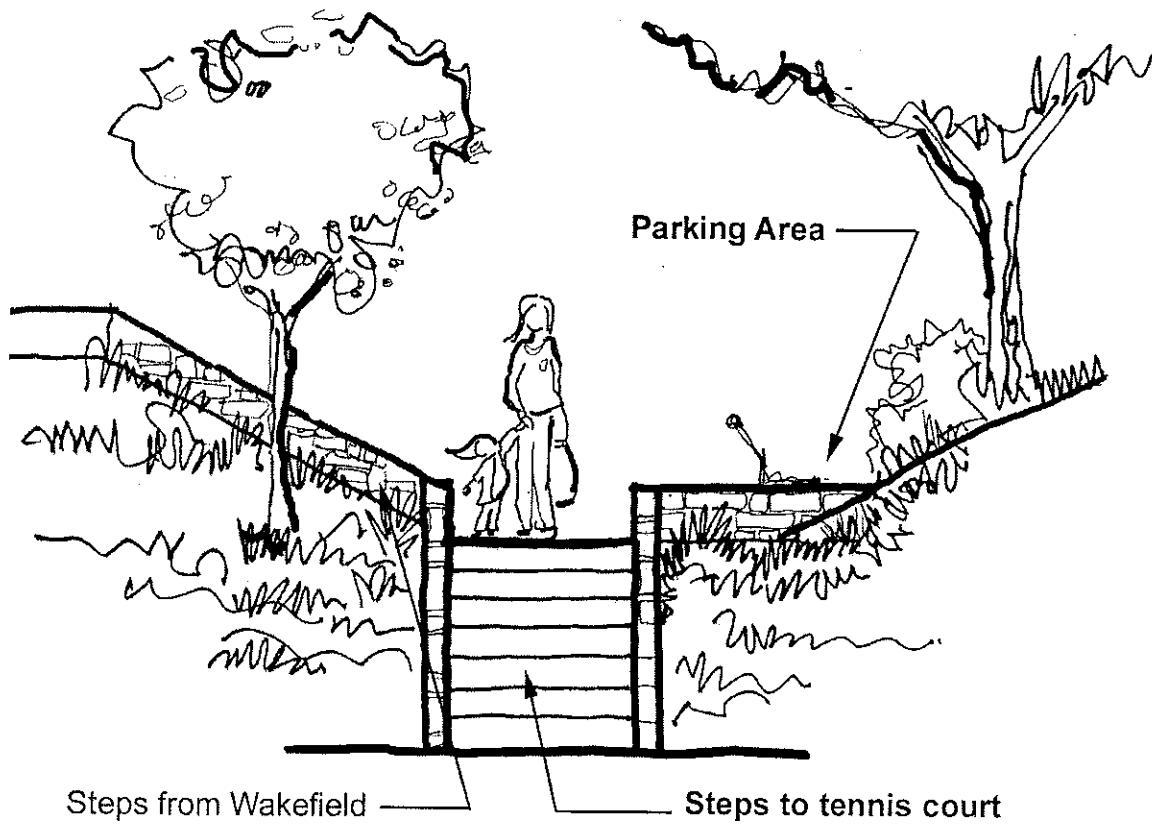
Illustration #10- Pool house Sketch.

- e** The flat roof of the Pool house provides a unique opportunity for expansion. An obvious advantage to an upper level construction is to provide not only an additional observation point for the tennis courts, but also for the pool. The effect will be to unify the amenity area in a way that is lacking today.

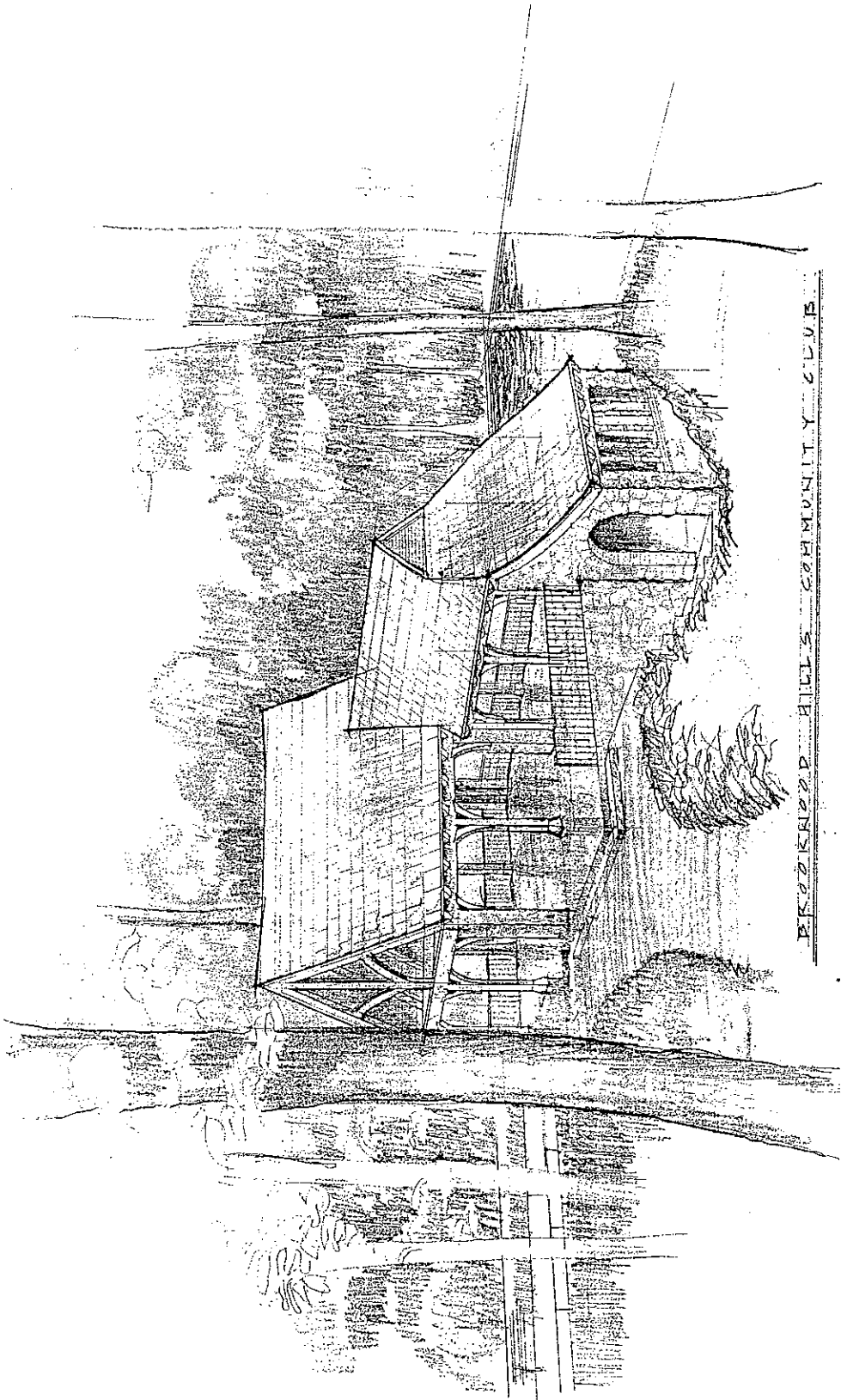
Illustration #10- Pool house Sketch.

- f** Through discussions with members of the Brookwood Hills Committee and review of the neighborhood wide questionnaires it is clear that there is a demand for a social gathering area. A Clubhouse expansion to the upper level





**ILLUSTRATION # 9- CROSS SECTION OF BABY STOLLER 'PARKING AREA'**



BROOKWOOD HILLS COMMUNITY CLUB

NORMAN D. ASKINS, ARCHITECT	
SCALE:	APPROVED BY:
DATE:	H. J. J. J.
DRAWING NUMBER	

ILLUSTRATION #10- CLUBHOUSE IMPROVEMENTS

provides for such an opportunity. There are several advantages to this location:

- There is good immediate access from the road.
- There is a good view over much of the amenity area, facilitating extended child supervision.
- It is an expansion of the pool house, thus keeping high traffic destinations all in one area.
- There is an opportunity for both covered and open-air situations thus reaping benefits from both situations.
- Proximity to the concessions stand.

Illustration #10- Pool house Sketch.

- g** Though functional the Pool house is basically a rectangle of concrete construction. There is little detailing, less character and is aesthetically unappealing. In an effort to improve this situation a complete renovation of the Pool house is proposed.

Due to the Pool house being the architectural focal point of the park its exterior appearance is crucial to creating an attractive park environment. The exterior façade can be used to influence other architectural elements throughout the park and create a unified appearance. A renovation of the exterior façade of the Pool house is proposed with alternative materials.

Illustration #10- Pool house Sketch.

- h** Much of the character of the Brookwood Hills Amenity Area is attributed to the attractive, mature trees across the site. There are few shrubs, most of which is concentrated in immediate proximity to the paths. Groundcover is more abundant in certain areas.

The value of the existing trees in their contribution to the character of the entire park must be understood. The final layout of the hardscape modifications must ensure the minimum disturbance to the existing vegetation.

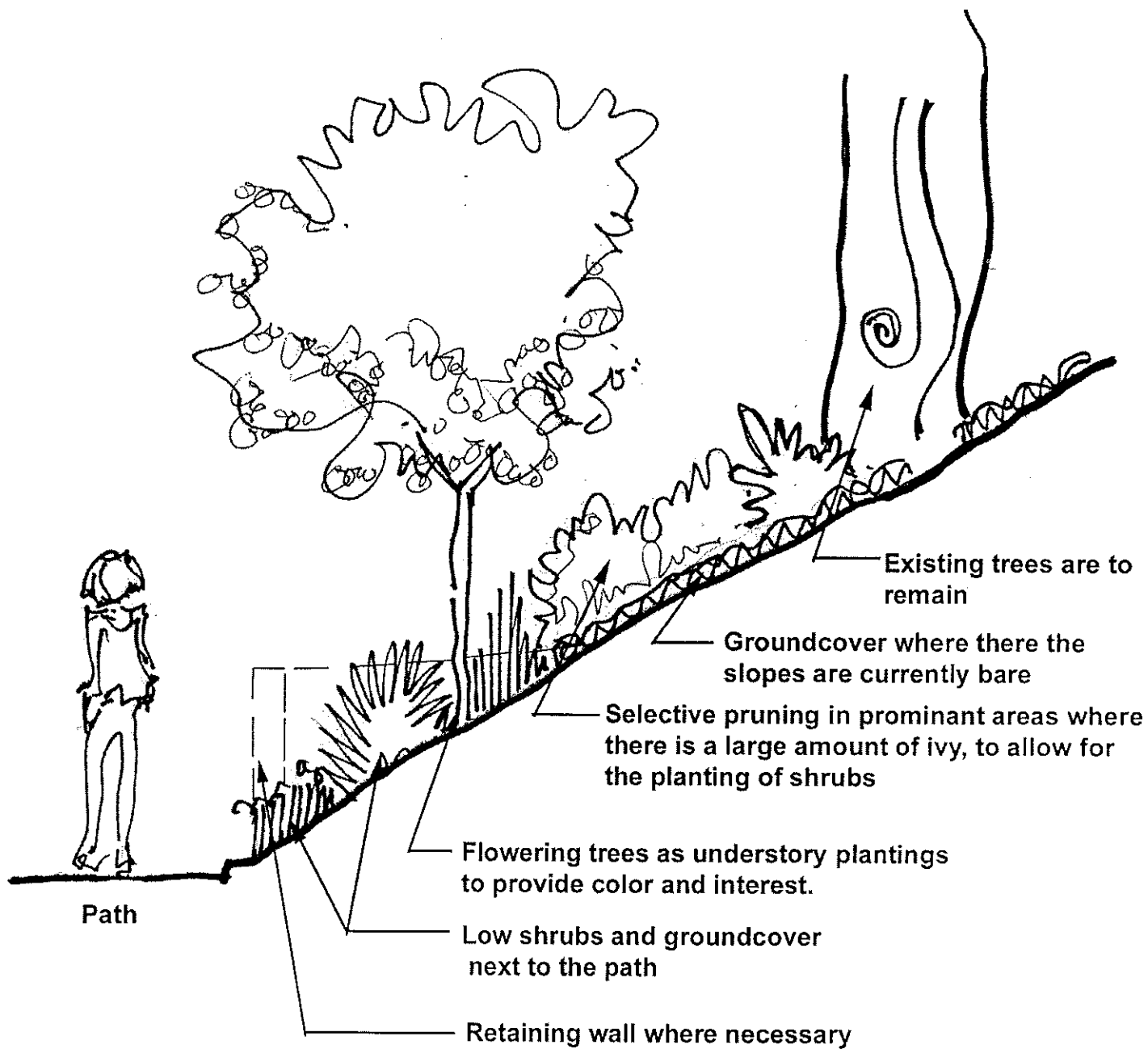
Additional vegetation is proposed, not only next to the paths, but also in selected locations on the perimeter slopes. A combination of groundcover and medium to large shrubs to cover the bare slopes will greatly enhance the appearance of the area. The addition of more under-story flowering trees will provide yet another attractive and interesting element to the slopes.

Illustration #11- Cross section of vegetation on slope.

#### SUGGESTED PLANT PALLET

(This list is not to be exclusive but is to set the character intended)

- Flowering Dogwood
- Maximum Roseum Rhododendron
- Hydrangea (many varieties)



**ILLUSTRATION #11- CROSS SECTION OF VEGETATON ON SLOPE**

- Florida Anise
  - Florida Leucothoe
  - Sweetshrub
  - Sweetspire
  - Christmas Fern
  - St. Johns-Wort
- i The lighting in the area of the Pool house is entirely contributed to a solitary multi-use pole at the crossroads of the paths to the clubhouse and the tennis and basketball courts. A new solution consisting of low-level lighting within the stairs and sidewalks leading to the pool will be introduced in association with new post top lighting proposed for the pool area.

## ii. Pool, Tennis Courts and Basketball Courts

### • Tennis Courts and Basketball Courts

- a The unpaved area within the basketball fence is not used for any formal activity. It is proposed that this area be paved to provide an additional area for play. Special attention should be given to delineating court games that safely fit within this area.
- b Both the tennis and basketball courts require resurfacing. The fencing surrounding both the courts is unattractive and the poles rusted. It is suggested that the fencing is to be replaced and the lighting poles be provided.

### • Pool

- c The only admittance between the park and the pool areas is for pool maintenance personnel via a vehicular controlled access point, the pool is currently closed to any pedestrian traffic from the park. This situation compromises the circulation through the entire amenity area, and divides it into two separate parts.

The Pool house should be an integral part of the entire amenity area as it houses not only the bathrooms but also the concession stand. Currently, the only way to access the Pool house from the park is to leave the amenity area and walk along Wakefield Drive to the Pool house entrance.

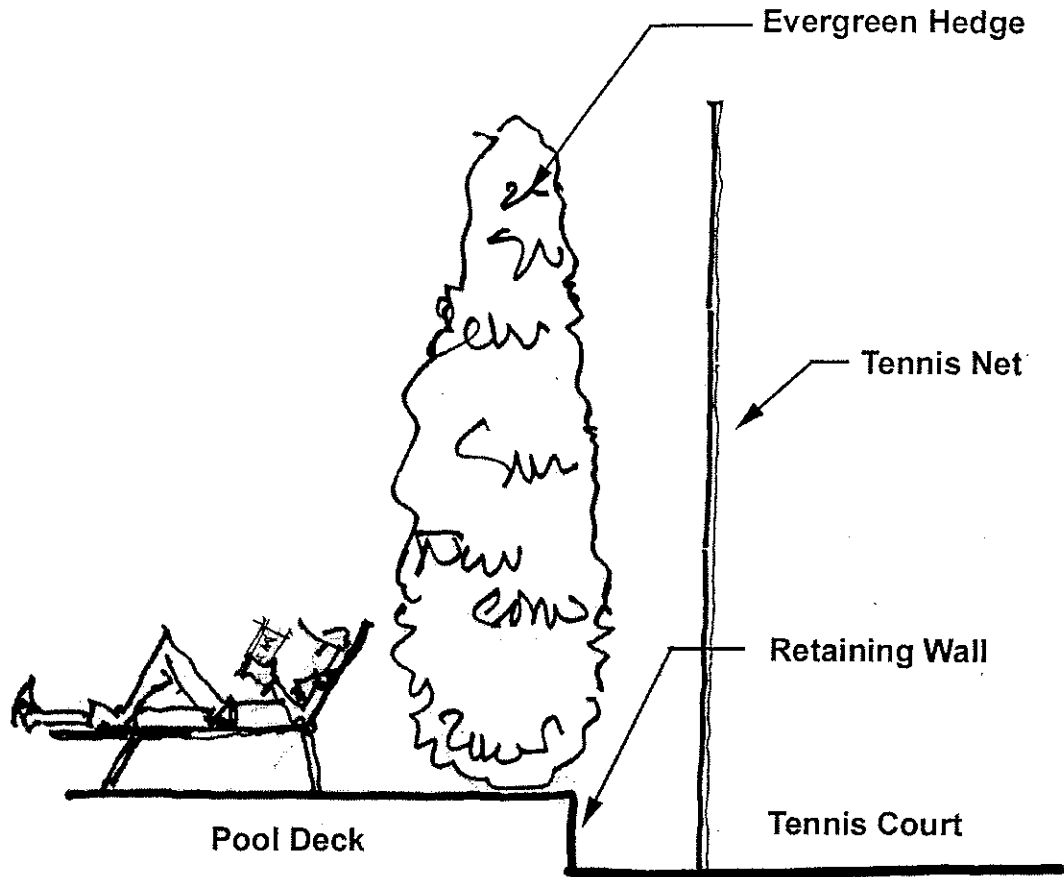
A controlled pedestrian access point between the park and the pool is proposed, this will promote several desirable situations:

- There will be improved circulation throughout the entire amenity area. The amenity area will function as one cohesive element.
  - Once within the amenity area all the services can be accessed without leaving the park.
  - There will be the possibility of increased traffic to the concession stand.
  - Uniting the pool and the park area will promote greater use of both.
- d Between the Pool and the Tennis courts there is an evergreen screen of Leyland Cypress. This layout aesthetically divides the tennis and pool areas, as well as reduces the valuable surface area of the deck.

In order to lend a cohesive atmosphere to the amenity area, it is proposed that the evergreen hedge be removed and replaced with vegetation of a more human scale. The new planting layout is to remain linear in nature to maximize the square footage of the pool deck.

Illustration #12- Cross section of the current hedge situation.

Illustration #13- Cross section of the proposed hedge situation.



ILLUSTRATION#12- CROSS SECTION OF THE CURRENT HEDGE SITUATION

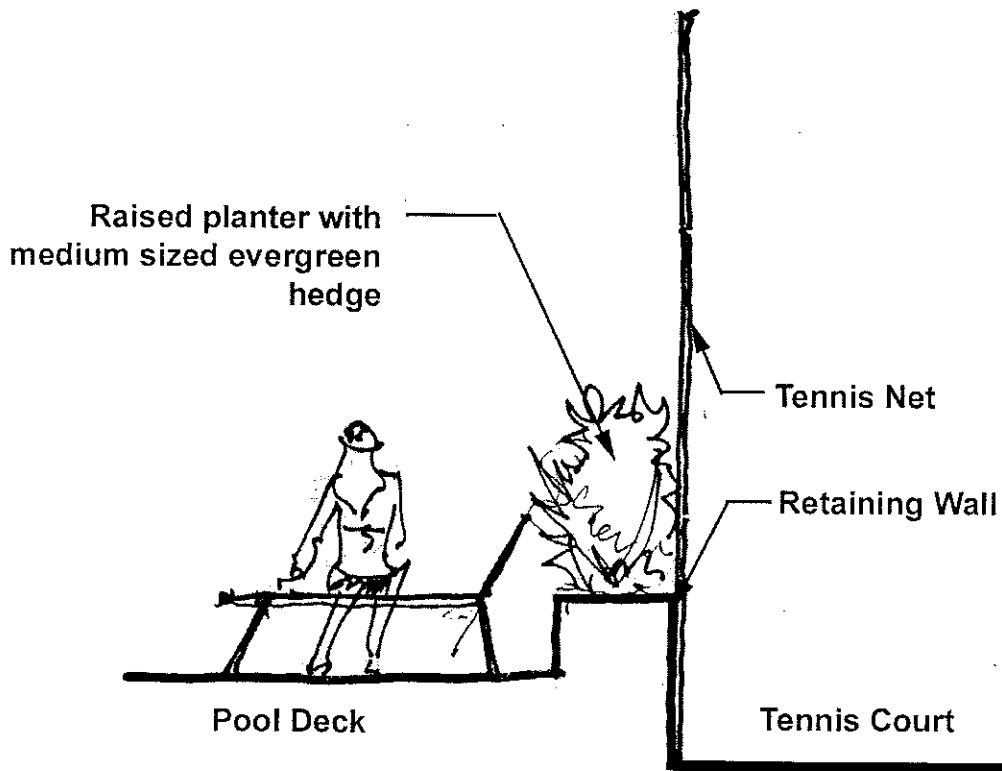


ILLUSTRATION #13 - CROSS SECTION OF PROPOSED HEDGE SITUATION

- e** The pool equipment building stands alone in its location and architectural style. It is proposed that the façade be renovated to match the material of the renovated Pool house, this will provide a cohesive identity across the amenity area, aesthetically linking buildings within the amenity area.
- f** The pool deck is stained and uneven due to its inefficient drainage system, and resulting in periodical collection of water in the low spots of the deck. The retaining wall to the upper level deck located between the pool and Wakefield Drive is also stained and aesthetically unattractive.

The following improvements are recommended:

- Install drainage improvements to the entire deck as needed.
  - Resurface the pool deck and the retaining wall to the raised deck area between the pool and Wakefield Drive.
- g** The vehicular access point between the park and the pool is aesthetically unattractive, due to a disordered assortment of materials and level changes. This transition point between the park and the pool requires an organized, simple layout to mesh the contrasting hardscape elements, and to provide improved access for the pool maintenance.

Illustration #14- Conceptual elevation of the vehicular access point to the pool.

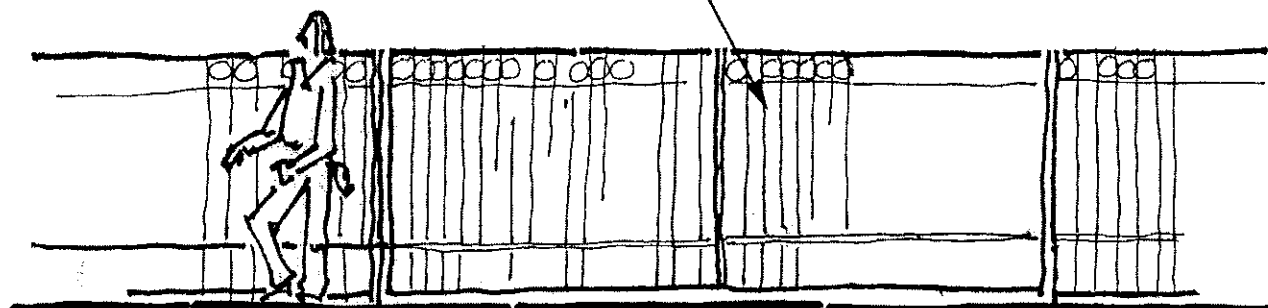
- h** The segregation of the park and the pool is compounded by the unnecessary height of the dividing chain link fence. The material of the fence is unattractive and creates an incongruous industrial, purely functional feel.

It is recommended that the chain link fence be replaced with a six-foot (6') wrought iron fence to match the character of the one at the periphery of the park. This will accomplish several things.

- The new fence will provide cohesiveness by repeating design elements throughout the park.
  - It will create an attractive environment for the heavily used pool and park areas,
  - A lower fence will visually enhance the relationship between the park and the pool.
  - The new fence construction will provide an opportunity for attractively and functionally installing a controlled access point between the pool and the park.
- i** The pool area is lit by large industrial type lighting units on tall poles, of which there are two dedicated to the pool and one which is shared between the pool and the tennis court area. A new solution comprised of post top lighting will be implemented.



The proposed fence and gate shall be uniform in design and height



Fence

Access Gate

Fence

The grades shall be addressed to avoid any run-off into the pool area

ILLUSTRATION#14- CONCEPTUAL ELEVATION OF THE VEHICULAR ACCESS POINT TO THE POOL

### iii. Park

- a The image of the amenity area starts at the entrances, particularly since the majority of the recreation area is out of sight at a lower elevation than the perimeter sidewalk.

The park has three entrances described below:

- The first is an open pedestrian gateway accessed from Parkdale Way, and features the only wrought iron fence section in the amenity area, the path from this gateway flows down a moderate slope to the main park area.
- The second is for vehicular access also off Parkdale Way. Even though this path is next to the pedestrian entrance described above it features a chain link gate, representing a change in fence material at this point from decorative to functional. The pavement from this entrance to the main park area is wide to accommodate vehicles, and is moderately steep.
- The third entrance to the park is from Wakefield Drive, which is for pedestrian use and features a steep flight of steps to accommodate the significant grade change at this point. The steps terminate within the playground.

It is proposed that the pedestrian path from Parkdale Way be widened to accommodate both vehicular and pedestrian traffic, and the existing vehicular access point be closed off. This will have the effect of reducing the amount of pavement into the park and allow more area for the expansion of the playground. Due to the controlled relatively infrequent vehicular traffic into the park, there will be little conflict or danger to the pedestrians.

It is proposed that the entrances to the park at Montclair Drive and Wakefield Drive be attractive yet understated. The materials used are to be the same as those proposed at the clubhouse entrance, this will provide a unifying, immediate identity to the park at the street level.

The sign currently used identifying the park at Montclair Drive is to be retained and incorporated into the new entrance design.

- b The park area is popular and heavily used, especially in the non- summer months. This is due to its multi- faceted nature for all kinds of play. It is important that within a modified framework, all existing functions of the park area must be retained, specifically the perimeter path, ball field, BBQ area and the playground.
- c The playground is popular and the existing play equipment is to be evaluated for replacement. There is opportunity within the modified layout of the park area for an expansion of the playground, given the extra area the playground is to be separated into two clearly defined sections to accommodate different age groups simultaneously.

The new layout of the playground will accommodate a paved path connecting the existing stairs from Wakefield Drive to the park's perimeter path.

- d There are two existing storage buildings in the park area, with an opportunity to renovate one of these buildings into restrooms. This has the advantage of reducing the potential flow of traffic through the pool area, via the proposed access point to the restrooms at the clubhouse.

The existing architecture of the storage buildings are in contrast to any other architectural element on the site. It is proposed that the façade be renovated to match the material of the renovated Clubhouse, this will provide a cohesive identity across the amenity area, aesthetically linking the park and the clubhouse areas.

#### Illustration #15- Conceptual layout of the Restroom Facility

- e The pavilion located in the park area represents its only covered structure and is a valuable asset to the park. The current structure does not relate in any way to the architecture elsewhere in the amenity area, and together with its associated trellises the pavilion is currently in a degraded condition.

A new pavilion is proposed within a renovated BBQ area. The architecture of the new pavilion will correspond to the materials and style of the new clubhouse, this will strengthen the distinctive identity applied to all the architectural structures across the entire amenity area.

The pavilion is linked to the nature trail by virtue of its proximity, there is an opportunity to strengthen this link, by constructing a direct path from the pavilion to the existing viewing platform on the nature trail above.

- f The existing perimeter chain link fence is purely functional, aesthetically unremarkable, and does not extend fully round the perimeter of the amenity area, notably, a stretch of fence along Huntington Road is missing. There are sections of fence that have been damaged by falling branches, and are in need of repair.

It is suggested that where the perimeter fence abuts a road it is to be replaced with a six foot high, attractive wrought iron construction in keeping with the architectural elements proposed at the clubhouse.

- The new fence will fully enclose the amenity area where it is adjacent to the road, ensuring the safety of the pedestrians by placing a barrier between them and the steep slopes of the green space.
- The fence will portray a welcoming new façade.
- At the Parkdale Way park entrance the existing wrought iron fence is to be replaced with the new design to ensure a unified profile.

- g Much of the character of the Brookwood Hills Amenity Area is attributed to the attractive, mature trees across the site. There are few shrubs, most of which is concentrated in immediate proximity to the paths. Groundcover is more abundant in certain areas.

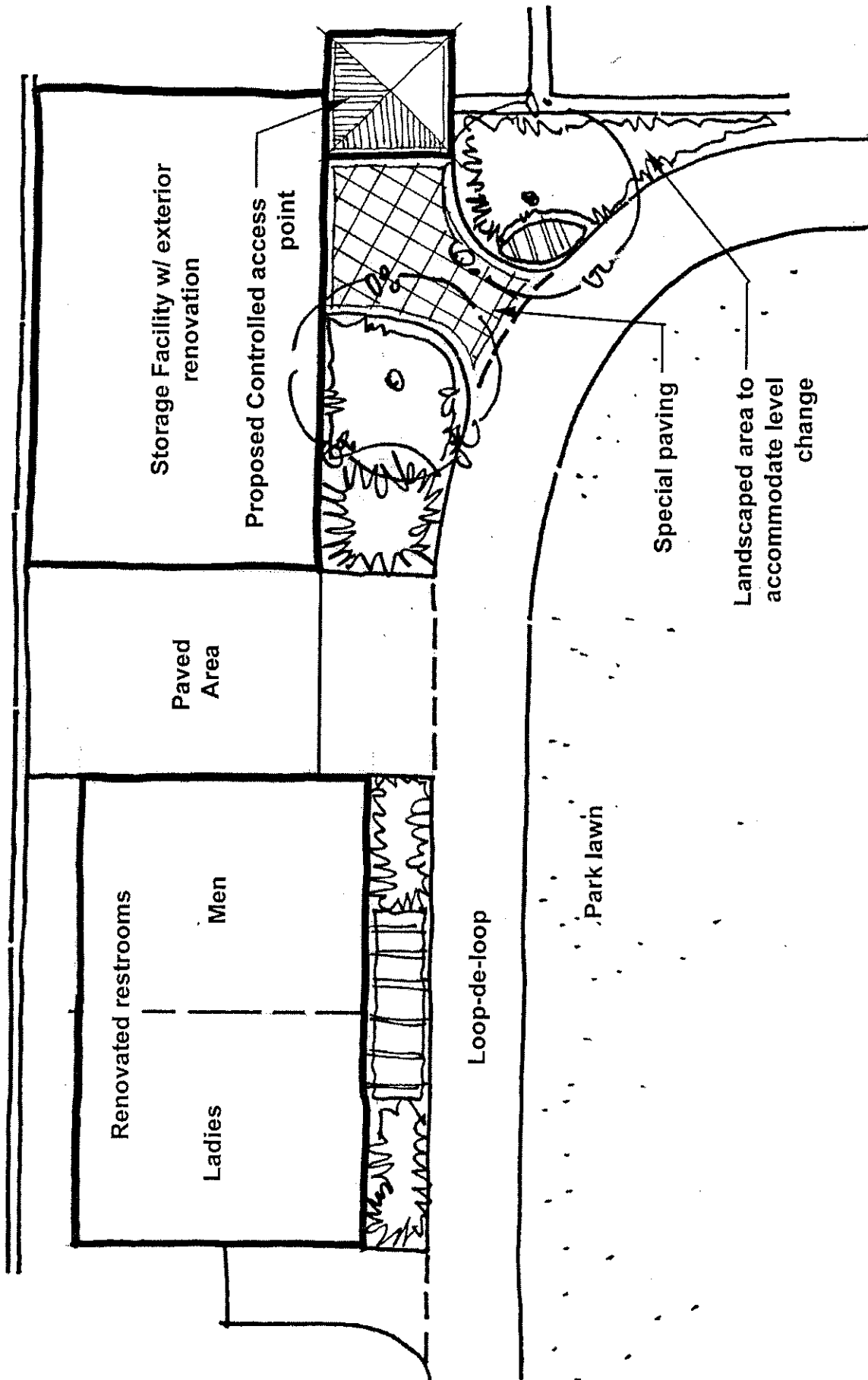


ILLUSTRATION #15- CONCEPTUAL LAYOUT OF RESTROOM FACILITY

In locations where hardscape construction is within wooded areas care must be taken to minimize the disturbance to the existing vegetation.

Additional vegetation is proposed in selected locations on the perimeter slopes. A combination of groundcover and medium to large shrubs to cover the bare slopes will greatly enhance the appearance of the area. The addition of more under-story flowering trees will provide yet another attractive and interesting element to the slopes. In areas covered with ivy, selective clearing and planting with larger shrubs is suggested.

Additional slope stabilization can be provided by the use of natural fiber (coconut mesh) mats that are staked to the slope and subsequently covered with either ground cover or mulch.

Illustration #11- Cross section of vegetation on slope.

#### SUGGESTED PLANT PALLET

(This list is not exclusive, but is to set the character intended.)

- Flowering Dogwood
  - Maximum Roseum Rhododendron
  - Hydrangea (many varieties)
  - Florida Anise
  - Florida Leucothoe
  - Sweetshrub
  - Sweetspire
  - Christmas Fern
  - St. Johns-Wort
- h** The park area is lit by a large industrial type lighting unit on a tall pole located at the existing BBQ area. This design provides an affective yet impersonal solution to lighting.

#### iv. Nature Trail

- a The chain link fence in the nature trail area is an unattractive arrangement of 'add-ons', functioning as barriers to the steep slopes, as well as enclosing the restricted access area of the pool. It is proposed that the fence shall be repaired and rerouted where appropriate, in other areas the fence is to be removed and replaced with a more suitable barrier.

Illustration # 16- Nature Trail barrier.

- b The nature trail currently has two entrance points, one accessed from the sidewalk along Huntington Road, the other begins adjacent to the existing pavilion in the park area. Both the nature trail entrances are very understated. The Huntington Road entrance features a dirt clearing at the edge of the sidewalk in which there sits a trash receptacle, this clearing is at the top of the steep slope behind the tennis courts.

It is recommended that the entrances remain understated but need to be more recognizable and welcoming to users, especially at the Huntington Road access where it will also be recognized as an entrance to the amenity area.

Huntington Road, Nature Trail Entrance Improvements:

- The entrance is to be distinguished by an alternative paving material, conforming to the design at the clubhouse entrance.
- There is to be a barrier dividing the entrance from the adjacent steep slope.
- There is to be an information sign within this entrance area.
- The trash receptacle is to be retained.

Illustration #17- Conceptual Layout of the Nature Trail Entrance.

Park, Nature Trail Entrance Improvements

- The entrance is to be distinguished by a contrasting paving material conforming to the design at the clubhouse entrance, this paving material is to connect the first step to the park perimeter fence.
  - There is to be an information sign within this entrance area.
- c Currently, access to the nature trail is limited to the two entrances at the ends, this diminishes its use as a route to the amenity area. It is proposed that an additional access point between the park and the nature trail shall be constructed. This link will enhance the use of the nature trail as a formal short cut to the park from the residences to the south of the park on Huntington Drive.

This intermediate stretch will be paved and stepped to accommodate the change in elevation. During the construction of the path the existing vegetation must undergo minimum disturbance.

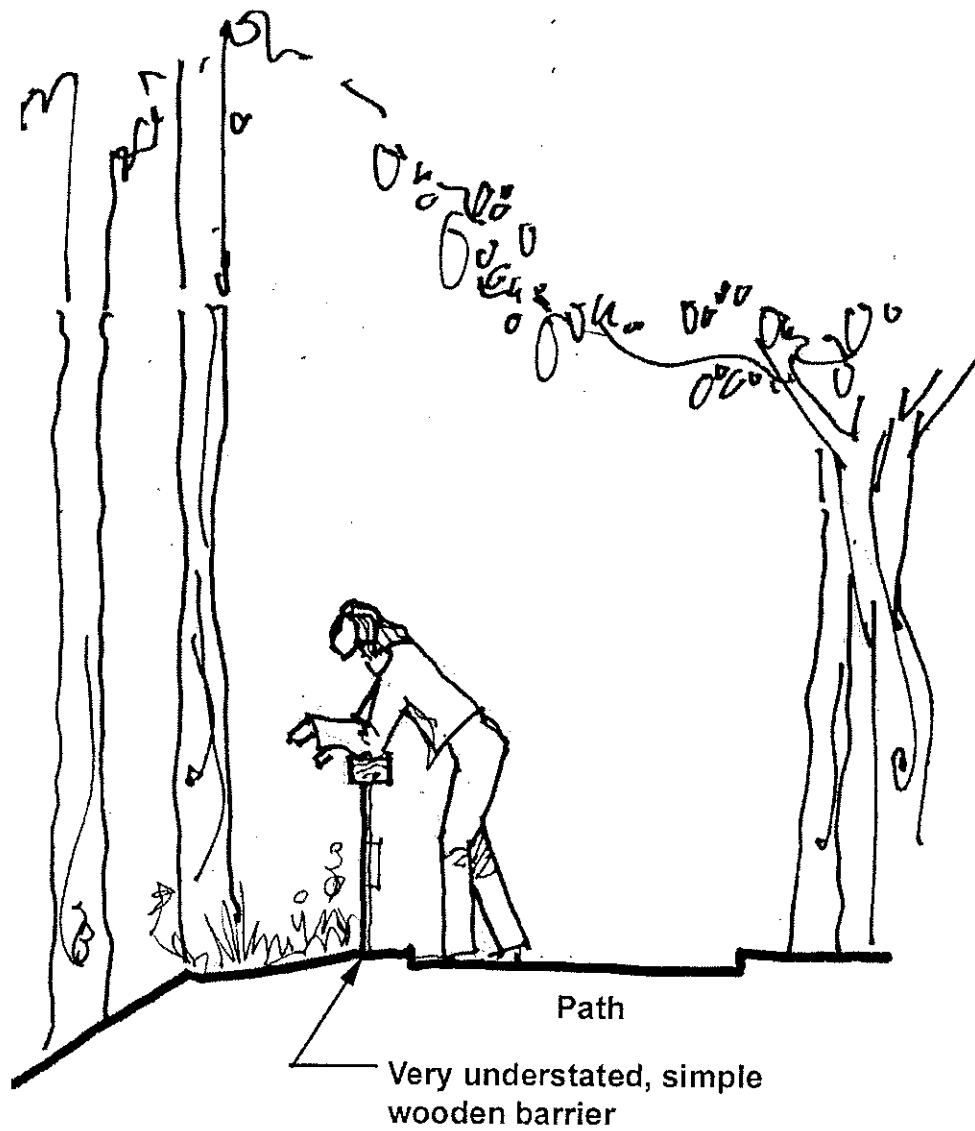
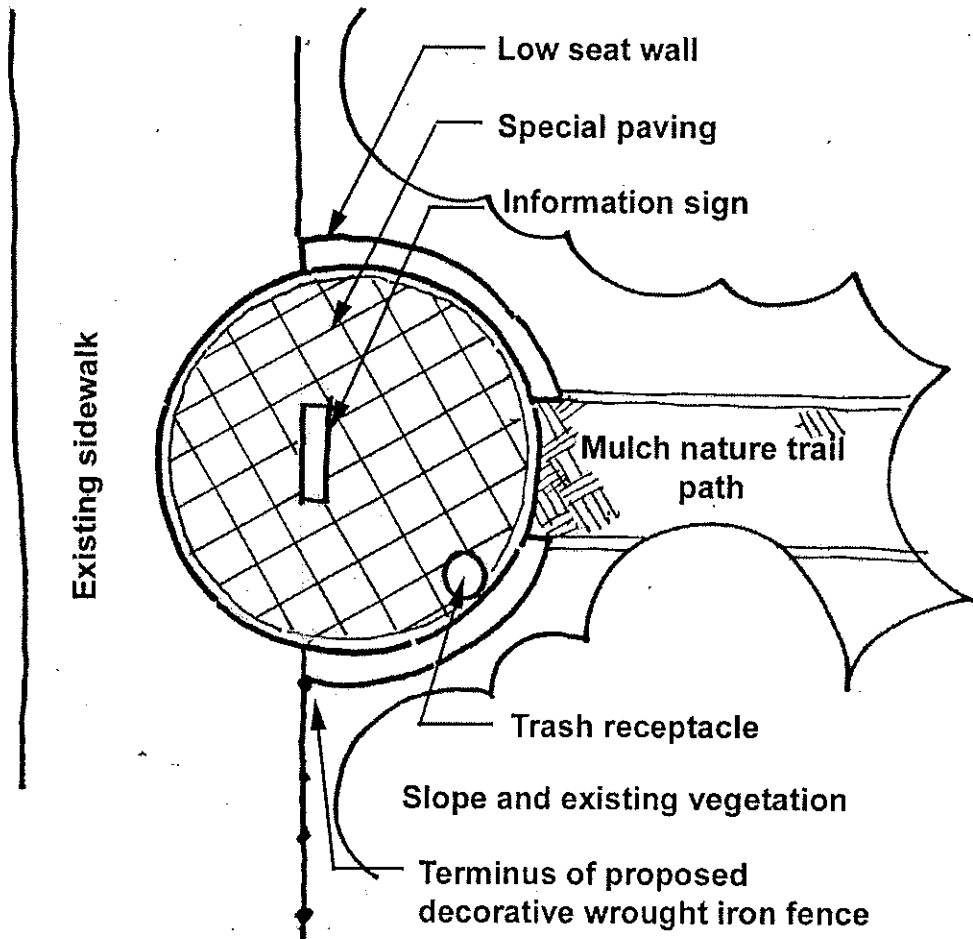


ILLUSTRATION #16- NATURE TRAIL BARRIER



**ILLUSTRATION #17- CONCEPTUAL LAYOUT OF THE NATURE TRAIL ENTRANCE**



d The existing character of the nature trail is to be maintained, and where possible and appropriate, enhanced. The path is currently in poor, and dangerous condition, and is described as follows:

- The path surface is dirt and is littered with protruding roots, stumps and rocks.
- The tree roots across the path are being used as steps to negotiate the grade.
- In certain locations the path is narrow with a steep cross -slope.
- The overhanging branches encroach onto the walking space of the path.
- The chain link fence adjacent to the path is incompatible to the desired atmosphere of the trail.

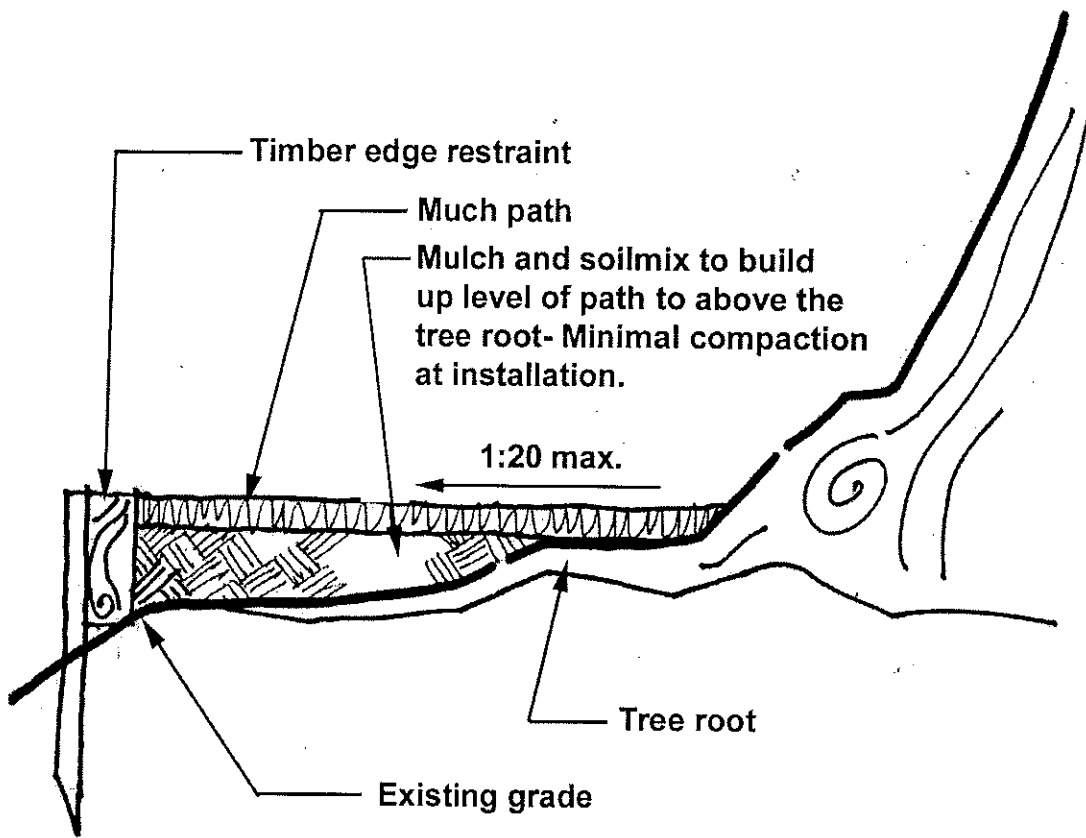
It is recommended that the path is to undergo the following improvements, for the safety of the trail users.

- The route of the existing path is to be maintained, and widened where necessary.
- The protruding stumps and rocks are to be removed.
- The trail is to be leveled and maintained by means of a timber edge.
- Timber steps, conforming to the character of those currently used on the path are to be placed where necessary along the path to alleviate the use of tree roots as steps.
- The trail is to be surfaced with mulch to provide an attractive and distinctive surface.
- The branches encroaching on to the path shall be pruned back.
- The chain link fence is to be removed and replaced with a more appropriate substitute.

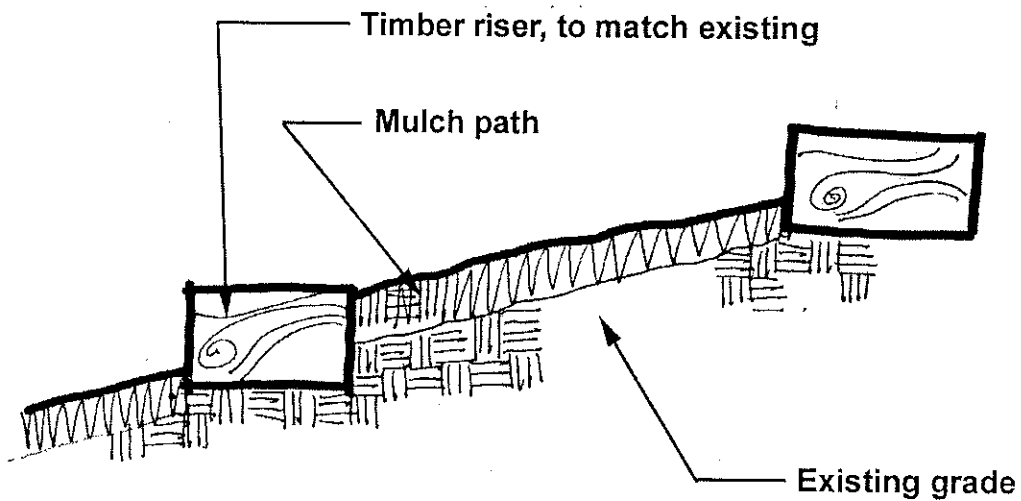
Illustration #16- Nature trail barrier

Illustration #18- Nature trail cross-section at tree root

Illustration #19- Timber steps on the nature trail.



**ILLUSTRATION #18- NATURE TRAIL CROSS SECTION AT TREE ROOT**



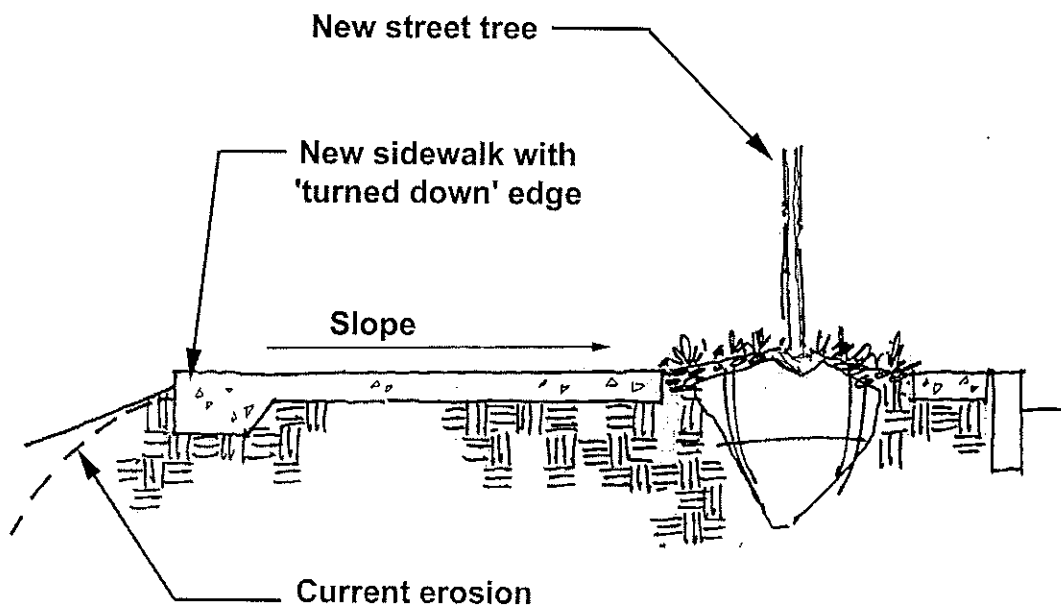
**ILLUSTRATION #19- TIMBER STEPS ON THE NATURE TRAIL**

## Erosion

- a Due to the steep slopes on every side of the amenity area the water run-off has eroded large section of these slopes to varying extents. The extent and location of the erosion must be identified and measures must be taken to resolve the problems.

### Illustration #20- Erosion Management Detail

- b Water runoff management in the location of the sidewalk above, will effectively reduce the volume of water running into the amenity area. In areas of proposed sidewalk renovation, the sidewalk shall be sloped towards the road, directing run-off away from the amenity area.



**ILLUSTRATION #20- SIDEWALK EDGE EROSION CONTROL DETAIL**

### 3. NEIGHBORHOOD

#### i. Sidewalks

- a The sidewalks throughout Brookwood Hills are generally uneven, due primarily to the upheaval of the existing street tree roots. The situation is dangerous, inconvenient for strollers and wheelchairs and unattractive.

Illustration #21- Neighborhood plan of existing sidewalks

It is proposed that the sidewalks are to be repaired where necessary, to achieve a pleasant walking experience. The material used for repairs is to match that of the surrounding sections of path to create a smooth transition physically and aesthetically.

- b There are sections of the neighborhood that lack sidewalks completely, and the pedestrian traffic moves on to the road, until the sidewalk resumes.

Illustration #21- Neighborhood plan of existing sidewalks

Where possible, construct additional sidewalks to link existing routes. Make appropriate adjustments to the sidewalk layout throughout the neighborhood to accommodate the existing trees that are to remain.

Illustration #22- Sidewalk layout at existing tree to remain.

Illustration #23- Concrete sidewalk at existing tree.

- c Throughout the neighborhood attempts have been made to identify key areas through contrasting paving, specifically at Brighton Road entrance, Palisades Road entrance and at the amenity area along Wakefield Drive

It is suggested that the existing paving patterns be expanded and formulated into clear design elements at key locations across the neighborhood. The key locations will include formal street crossings at intersections, entrances to the amenity area and at the main neighborhood entrances.

Illustration # 24- Conceptual Plan of a neighborhood intersection.

- d The Wakefield Drive sidewalk immediately to the north of the amenity area is a key parking location for the amenity area and is heavily used during the summer months. It is, by virtue of its location and use, an extension of the amenity area, and is to use similar design elements as a visual link.

The existing avenue of trees along this sidewalk is a mixture of species of varying age and health, there is little uniformity. It is recommended that all the existing trees are to be removed, the recently planted trees are to be transplanted in appropriate locations within the park. The replacement plantings are to be of an appropriate species and of the same caliper.

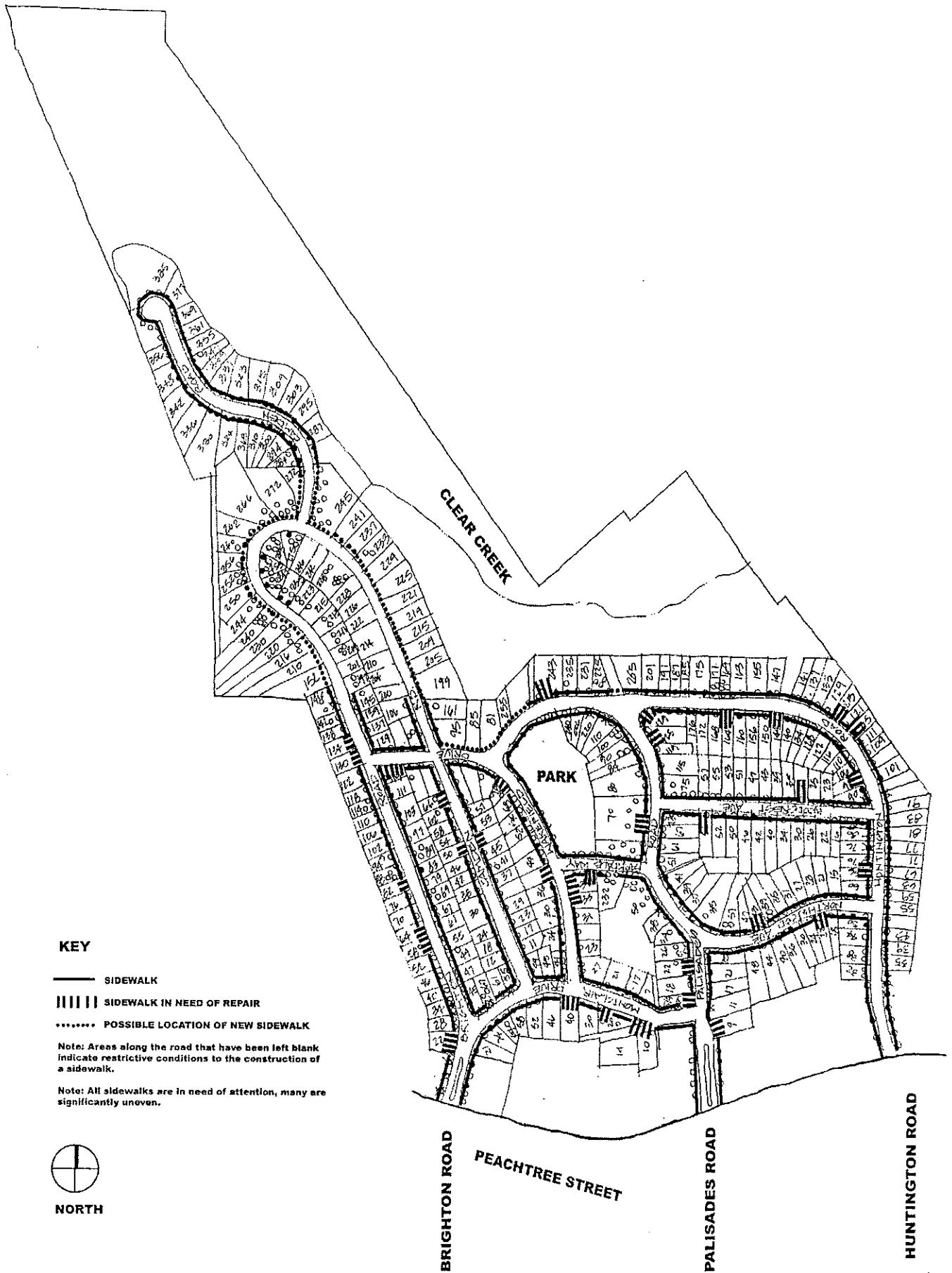
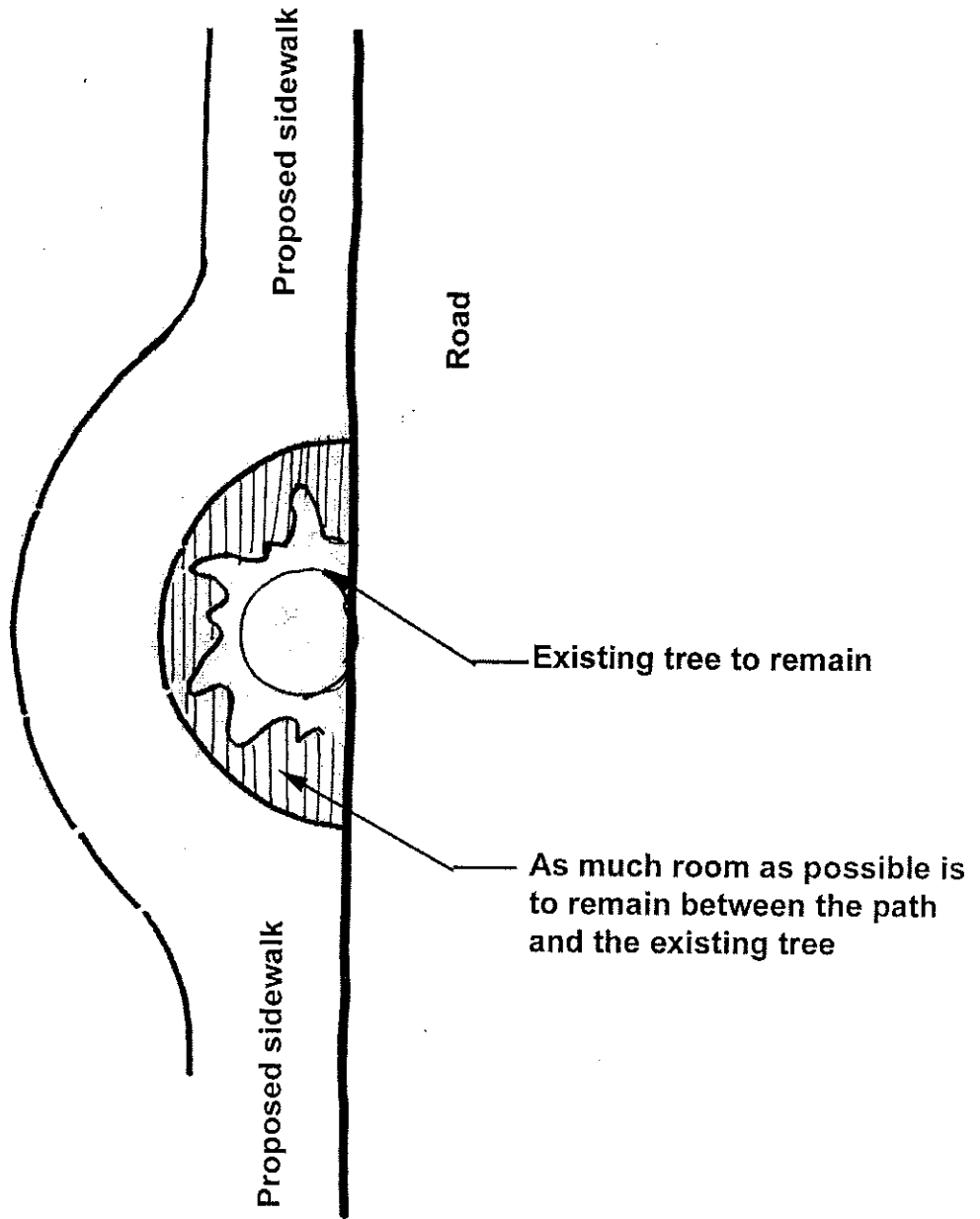
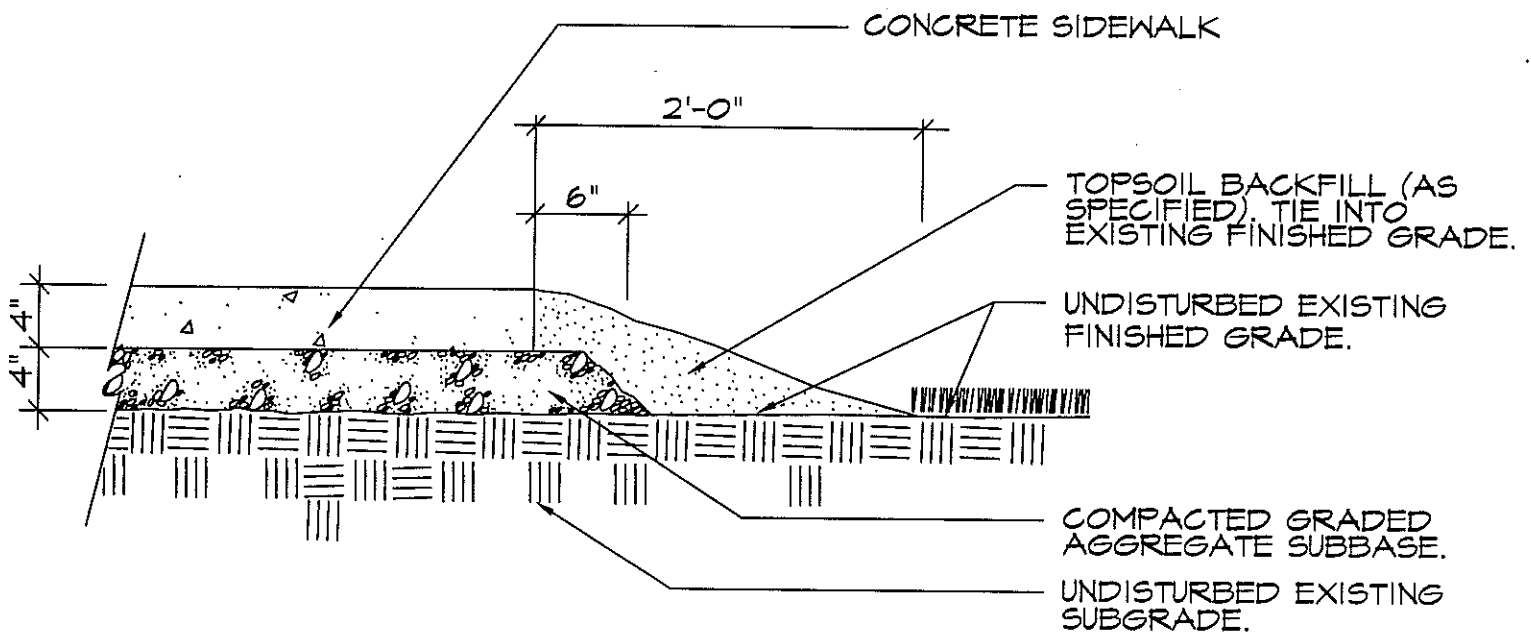


ILLUSTRATION #21-NEIGHBORHOOD PLAN OF SIDEWALKS



**ILLUSTRATION #22- SIDEWALK LAYOUT AT EXISTING TREE TO REMAIN**

NOTE: CONSTRUCT 3/16"/FT. SLOPE ACROSS PATHWAY WITH PREVAILING EXISTING GRADE.



**ILLUSTRATION #23- CONCRETE SIDEWALK AT EXISTING TREE**



## ii. Traffic Calming

- a The three entrances, Huntington Road, Palisades Road and Brighton Road provide the first impressions of the Brookwood Hills neighborhood. The current situation profiles wide streets, bisected in two of the entrances by a relatively wide median with thriving vegetation. All the entrances are busy crosswalks for the Peachtree Street pedestrian traffic, and due to the businesses and related parking at each of the intersections vehicular traffic is also heavy.

At the three entrances to the Neighborhood the roads are to be narrowed to minimum requirements, this will provide the following advantages:

- The traffic will be significantly slowed thus enhancing the environment for the pedestrian users.
- Due to the proposed hardscape elements there will be reduced parking opportunities at the Peachtree intersections, this will enhance views into the neighborhood and provide a safer environment for pedestrians.

Illustration #3- Brighton Drive Improvements

Illustration #4- Palisades Road Improvements

Illustration #5- Huntington Road Improvements

### **iii. Neighborhood Identity**

- a** In order to achieve an overall neighborhood identity the materials and design elements must conform to one pallet and one theme, and be used consistently throughout.

The identity will be created with the implementation of the proposals suggested in this document, but will only be maintained with the continued use of the same design elements in future improvements.

- iv.** To further strengthen the neighborhood identity it is suggested that a new design element be introduced to the street signs, this will unify elements at the intersections.

Illustration #26- Conceptual street sign sketch.

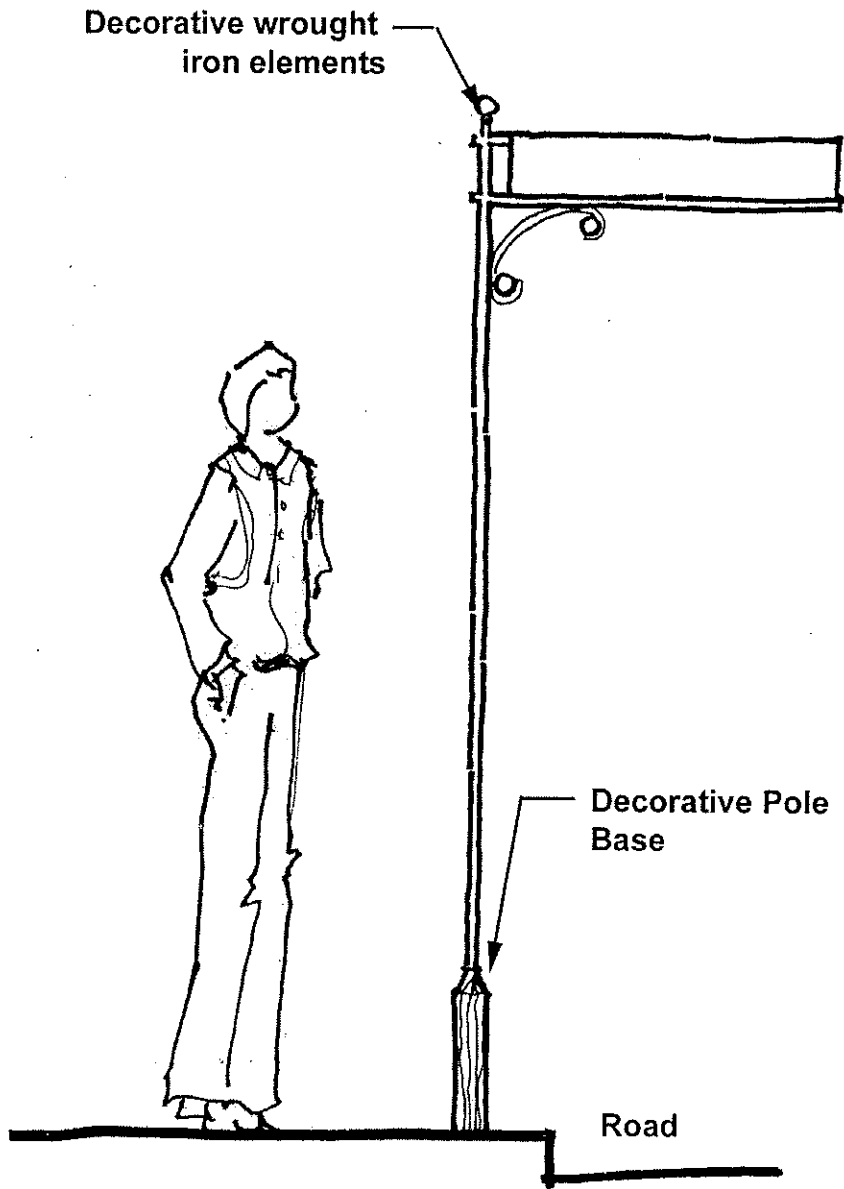


ILLUSTRATION #26- CONCEPTUAL STREET SIGN